

Policy Number:	LPP 7
Policy Type:	Local Planning Policy
Policy Name:	Nannup Mainstreet Heritage Precinct
Policy Owner:	Chief Executive Officer

AUTHORITY: Shire of Nannup Local Planning Scheme No. 4

POLICY BASIS

This is a local planning policy prepared under the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations) and the *Shire of Nannup Local Planning Scheme No. 4* (LPS4).

OBJECTIVES

The objectives of this policy are:

1. To guide the development within the defined heritage district to ensure that the existing character of the precinct is not diminished by development applications that does not reflect the Shire of Nannup's aspirations.
2. To conserve and protect the cultural heritage significance of the Nannup Main Street Heritage Area;
3. To ensure that new buildings, and alterations and additions to existing buildings, can be accommodated within the Area without adversely affecting the Area's significance and amenity;
4. To encourage development which is compatible, complementary and sympathetic with the existing heritage significance, character and appearance of the Nannup Main Street Heritage Area; and
5. To provide improved certainty to landowners and the community about the planning processes for development within the Area.

DEFINITIONS

Definitions in this Policy are as per LPS4 or *Residential Design Codes* (R Codes). The following additional terms are defined as follows:

"Building Form" means the overall shape and volume of a building and the arrangement of its parts.

"Character" is essentially the combination of the public and private domains. Every property, public place or piece of infrastructure makes a contribution, whether large or small. It is the cumulative impact of all these contributions that establishes local character. The physical qualities of character in Nannup are diverse and include:

- the era of the majority of development;
- the subdivision pattern;
- the siting and orientation of development/built form on the lots;
- the form and distribution of open space;
- building height, scale and proportion; and
- distinctive building styles, particular design elements, materials and finishes.

"Compatible/Complementary/Sympathetic Development" means a design outcome that shares the characteristics of the context, and while it will not be the same as historic neighbours, will not look out of place amongst them.

“Contemporary Design” means design styles that are of their time and that do not use the design elements of another time, such as historicism.

“Cultural Heritage Significance” has the same meaning given to the term in the *Heritage Act 2018*, and means aesthetic, historic, scientific, social or spiritual value for individuals or groups within Western Australia.

“Development” has the same meaning given to the term in the *Planning and Development Act 2005*.

“Façade” means the exposed face(s) of a building towards roads or open space, or the frontal outward appearance of a building.

“Frangible” means a material that can be easily broken into fragments rather than remaining as a single object.

“Heritage Areas” are precincts in which the relationship between the various built elements creates a special sense of place which is worth conserving. A Heritage Area may be a group of places that together form a precinct which is of cultural heritage significance notwithstanding that each place within the precinct does not itself have cultural heritage significance and which, in the opinion of Council, require special planning controls to conserve and enhance the cultural heritage significance of the Area under the provisions of the Shire’s LPS4.

“Historic Character” means the combination of particular characteristics or special qualities of a place related to its period or style of construction.

“Historicism” means an excessive regard for past styles and may include copying them, as opposed to contemporary design.

“Infill Development” means a new building in an established and valued historic context. Good infill is sympathetic to its surroundings and context, and creates a new structure that enhances and complements the existing character. Infill should be distinguishable from the existing context but should look like a “well-mannered neighbour”.

“Local Heritage Survey” means the identification and recording of places that are, or may become, of cultural heritage significance in the local government district. Local Governments are required under the *Heritage Act 2018* to prepare such a list.

“Townscape” means the total visual impression gained from any one location within a street including the natural and man-made elements, and is made up of the appearance of, and the relationships between, buildings in terms of design, scale, materials, colours, finishes, signs, external furniture, paving materials for roads, footpaths and landscaping.

APPLICATION OF THE POLICY

This Policy applies to land use and development within the Nannup Main Street Heritage Area (see Attachment 1). This relates to Special Control Area 6 (SCA6) in LPS4.

The provisions of this Local Planning Policy apply to all development and/or use of premises in the Local Planning Policy Area where indicated as permitted or discretionary land uses under the Zoning Table of LPS4.

Subject to LPS4, development and use of land shall be in accordance with the standards and requirements of this Policy.

LINKS TO LOCAL PLANNING SCHEME AND OTHER DOCUMENTS

This Policy relates to various requirements set out in LPS4, *State Planning Policy 3.7 Planning in Bushfire Prone Areas*, *State Planning Policy 7: Design of the Built Environment*, *Residential Design Codes – Volume 1 (R Codes)*, *Residential Design Codes – Volume 2 – Apartments*, the *Building Code of Australia* and various Local Planning Policies. Where there is an inconsistency between this Policy and LPS4, then LPS4 prevails to the extent of such inconsistency.

POLICY PROVISIONS

1. General

During the period 1885 to 1914 there was a considerable increase in settlement activity within the Blackwood River region. As the area was opened up by roads and railways, small towns developed, and with them came opportunities for business. The settlement of Nannup was officially declared a townsite in 1890.

The main occupations of the early pioneers were sheep and cattle raising on pastoral leases, catching wild horses and timber cutting. The latter activity was undertaken both to clear land for grazing, and to cater for the growing timber industry. The timber trade grew rapidly with a growing demand – both locally and internationally – for railway sleepers and telegraph poles.

Nannup's main street (Warren Road) has developed slowly without much redevelopment, and consequently there has been little disturbance of its essential character. The basic spatial elements of this character are small commercial and residential buildings set on large lots, with areas around the buildings left open, and generally containing some small outbuildings and large mature trees (often deciduous and non-native to the area).

Warren Road has a number of buildings of cultural heritage significance, and several more of moderate heritage value. Scattered amongst these are some original, modest commercial and residential buildings of varying historic character. The main street is noteworthy due to the relatively intact nature of its building stock from the early part of the 20th century.

The Nannup community is concerned about conserving, enhancing and appropriately developing the physical, cultural and aesthetic environment of its central commercial area and Main Street. The community seeks to enhance the existing built fabric, the social and business viability of the town, and to ensure that future development is in keeping with these goals and the recognised character of the town.

The collective worth of the existing heritage buildings – large and small – and the absence of any really intrusive buildings, distinguishes Warren Road as an important Heritage Area, and one well worth protecting and enhancing.

This Policy is therefore intended to provide applicants, landowners, business operators and residents with the framework to be used by the Shire in assessing land use and development proposals in the Main Street Heritage Area.

The development guidelines contained in this Policy are not intended to create a "time capsule" and stifle new development. Rather, they set out to guide and encourage new contemporary development and redevelopment, and to ensure that the important heritage values, and unique timber town character of Nannup, will be preserved for the enjoyment of future generations.

All new development should avoid historicism, and instead contribute positively to Nannup's streetscapes to ensure the very features for which the town is admired are conserved.

2. Development and Design

A) *Town Character*

The Nannup community perceives the character of the town as contained in two major interlinking themes, which are:

- A “Garden Village”, and
- A timber town, originating primarily in the thirty years either side of 1900.

These concepts are to be used in a complementary manner as design parameters, and the main source of design inspiration for future development.

B) *Objectives*

All new development and redevelopment within the Nannup Main Street Heritage Area should contribute positively to the recognised heritage values and established townscape quality of Nannup’s main street.

The Council requires that all proposals for new development and additions to existing development within the Heritage Area shall:

- add to the range of services and facilities available to the town residents and its visitors;
- ensure through appropriate design that the strong “Garden Village” character, and “timber town” identity/role of the town is preserved, particularly in regard to development size, form, height and scale;
- be compatible with existing development, particularly in regard to building materials, shop front design, front setbacks, the use of colour, the application of advertising signage and the location and form of fencing;
- enhance the existing overall visual appearance of the Heritage Area;
- improve the provision of weather protection for pedestrians; and
- build upon the existing strong sense of community, and improve the economic viability of the town.

C) *Places Of Heritage Significance*

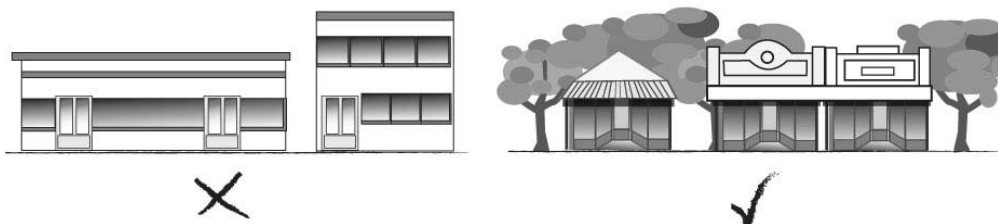
The Shire of Nannup Local Heritage Survey records a number of places within the Nannup Main Street Heritage Area as having varying degrees of cultural heritage significance. Key heritage places are included on the Heritage List.

Some other places within the Area have lesser heritage significance, but nevertheless contribute to the town’s overall heritage quality. Applicants are advised to discuss heritage aspects with Shire staff at the earliest stage of planning and/or design development.

“Development” is defined under the *Planning and Development Act 2005*, and includes demolition, erection, construction or alteration of any building or structure or the land, the carrying out of excavation works, or the like. In the case of places registered by the Heritage Council of Western Australia, development includes anything likely to change the character or external appearance of any building, or irreversible alteration to the fabric.

D) *Building Form*

The form that a building takes is greatly influenced by the use which it houses. If the proposed use of a new building is compatible with neighbouring uses, then it is much more likely that the form of that building can also be “neighbourly”.



Generally the emphasis of building form should be vertical or compact, rather than wide, low buildings which have a horizontal emphasis to their form and detailing.

Where large frontages are planned, the façade should be broken up by vertical elements, and where possible new floor levels, window positions and sizes, and verandahs, should complement those of adjacent buildings.

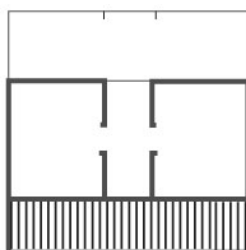
Although shops will wish to display their goods effectively, modern shop fronts with aluminium frames and floor to ceiling glass are not appropriate, and will not be encouraged in new developments. They should certainly not be included in alterations to existing historic buildings.

Additions or alterations to existing shop fronts in the Heritage Area should follow traditional window-door-verandah-gable forms in size, proportion and placement. The heights of these elements, especially the gable or parapet ends, the verandahs and the dwarf wall under the display window should follow those of adjacent original shop fronts.

E) Plan Form

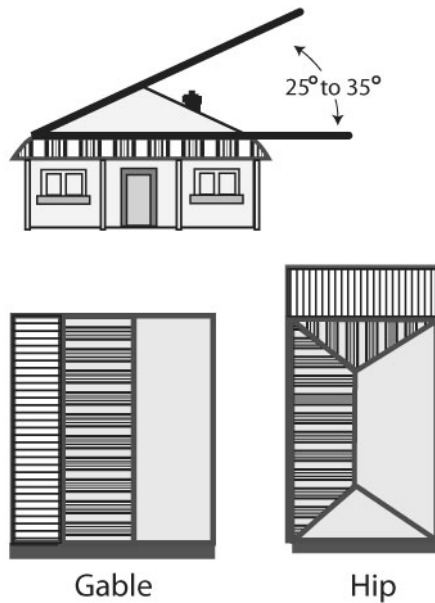
The shapes of traditional plan forms in Nannup are characteristically simple. They are composed of basic rectangle and square combinations and are usually symmetrically arranged around a central front door. Plans for new developments should reflect this where possible. Complex plans with walls that step in and out are not acceptable.

As is often the case with older commercial buildings, the front door may be recessed slightly from the remainder of the front façade, with the external entry floor abutting the footpath paved with decorative feature tiles or mosaics.



F) Roof Form

Main roofs in the Heritage Area have characteristically been clad with custom orb profile sheeting (i.e., corrugated iron – not tiles), and pitched between 25 and 35 degrees. The design configuration of the roof should be simple with rectangular plans and a combination of hipped or gabled roofs.



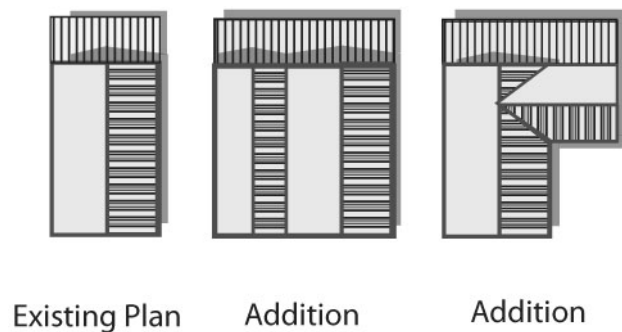
G) Building Height

Buildings within the Heritage Area are generally single storey. This can mean about 4 to 6 metres in height. Two storey buildings may be permitted where the function of the proposed building makes it unavoidable. Three storey buildings will not be permitted.

H) Alterations & Additions

In altering and extending existing buildings in the Heritage Area, all of the general principles outlined for new development in these Development Guidelines shall be applied.

In making additions, care needs to be taken of the impact the changes may have on the building being extended, and on the character of the street as a whole. There are some simple ways in which additions can be carried out to reduce their impact, and some examples are illustrated below.



In carrying out external alterations to existing buildings, the principles established in these Development Guidelines in respect of materials, colour schemes and building details should be taken into consideration.

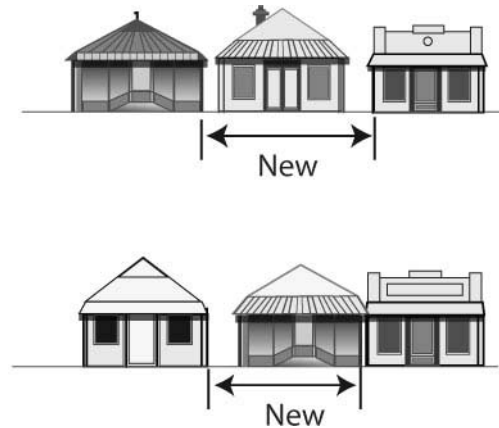
It is highly desirable that an architect with heritage conservation skills be engaged to assist in major alterations to existing heritage buildings. Advice should also be sought from the Heritage Council of WA.

I) Infill Development

This is a very important form of development because of its immediate relationship with, and impact upon, existing buildings and the streetscape.

Infill development does not need to imitate traditional buildings in every detail, but it should at least respect and reflect the scale, form, materials and emphasis of surrounding buildings.

Infill commercial development should seek to provide continuity and harmony with the existing streetscape by continuing the parapet height or gable height, the verandah height, window and door format, dado and stringing lines of adjacent traditional buildings.

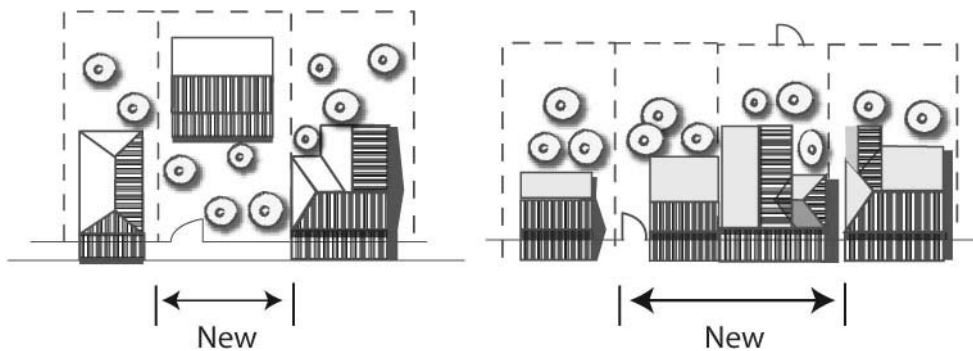


Building construction should be limited to a palette of sympathetic materials such as weatherboard, red/orange bricks and/or rendered finished masonry, and steel custom orb sheeting.

If a dwelling is to be constructed within the Heritage Area, it should be compatible and complementary in style, form, scale, materials and location on the site with existing dwellings in the immediate locality. The construction of suburban-style project homes or kit homes within the Heritage Area is not appropriate, and will not be approved.

J) Setbacks

Generally, new commercial buildings shall be located on the front property boundary, unless the function of the building demands that some part of it be set back. Residential buildings may be set back from the front boundary.



New residential buildings may be set back from the front property line (left) as has traditionally occurred in Warren Road. However, new commercial buildings shall generally be located on the front property line (right), as this has also traditionally been the norm.

Applicants should be aware that Council will need to be strongly convinced of any need to set a commercial building or part of a commercial building back from the front property line.

It is accepted that access to the rear of developments may need to be provided at the side of buildings, but side setbacks should ideally be kept to a minimum to facilitate continuity of frontages

in the northern part of the Heritage Area.

All garages or carports are to be situated at the rear of commercial buildings with access from the rear of the property unless otherwise approved by Council.

Any garage or carport associated with a residential property shall be set back to the side of, or behind, the dwelling it serves, and in any event shall be set back a minimum of five metres from the front property line, and where located at the side of the dwelling shall face the main street. The front fence must contain an enclosing gate on the front property line where vehicular access is gained from the street, and the gate must be compatible in style, scale and materials with the rest of the front fence. (See "Fences & Garden Walls")

A garage or carport shall be designed in a manner consistent with the style of the existing dwelling or commercial building with which it is associated, except where this would be detrimental to achieving the desired streetscape.



K) Open Space & Landscaping

As has been stated previously, it is strongly recommended that commercial buildings be located on the front boundary. Therefore the scope for planting at the front of the building, (other than on the footpath within the public domain) will be limited or impossible. Therefore, in order to maintain the town's rural character, the planting of taller-growing trees to the side and rear of buildings will be encouraged. This will help provide the buildings with a setting and a backdrop when seen from the street, in keeping with the existing character of the Heritage Area.

Existing street trees should be protected and retained in the course of any new development. Opportunities for new street tree plantings should be actively pursued. It is preferable to locate new street trees on the extended alignment of side boundaries, so shops and their advertising will not be unduly obscured by the tree canopies.

L) Materials & Details

The most common original building material for walls within the Heritage Area is weatherboard. Red/orange bricks, and/or rendered finished masonry are also widespread. Some stone has been used, mostly associated with fencing. Custom orb ("corrugated iron" or zincalume) is a traditional material that is used widely for roofing, and for some walls.

Modern decorative bricks, pale-coloured bricks or tumble-finished bricks should be avoided, as should fibro cement planks and sheeting, and steel sheeting other than custom orb profile.

M) Verandahs & Awnings

Verandahs and awnings provide shade and protection from the weather for footpaths and ground level shopfronts. Their provision on new buildings where the intended use of the proposed building makes it feasible will be strongly encouraged, especially where continuity with adjacent verandahs or awnings will result.

Roll-down blinds attached to the front edge of verandahs or awnings are useful for sun protection, and can double as advertising spaces. (See "Outdoor Advertising & Signage")

Both commercial and residential buildings in the Heritage Area have traditionally been built with verandahs or awnings. Those of commercial buildings have nearly all been located over the public footpath, with simple square profile “4x4” posts. Where verandahs or awnings cannot be protected from vehicles, the roof structure should be cantilevered with the posts not being required for support and certified as frangible. Rustic “bush poles” for supports are not acceptable. If posts can be adequately protected then they can be structural elements.

The addition of a verandah or awning to an existing building is acceptable, provided either that the building originally had a verandah or awning, or that one can be added without prejudicing the building’s original character and details.

Where appropriate, additions and new buildings should follow precedent and adopt a veranda or awning style in keeping with local examples within the Heritage Area. Overly “bullnose”-style and concave verandahs and awnings are not a part of the Nannup streetscape and should be avoided.



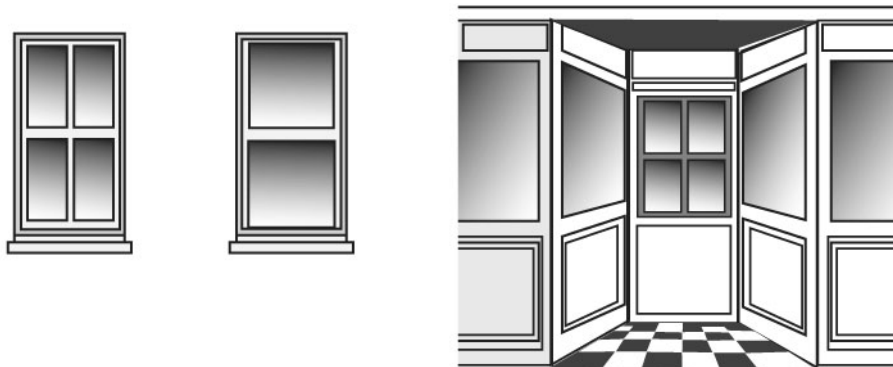
Appropriate awning styles.

N) Windows & Doors

Traditionally, most windows and doors of Nannup’s heritage buildings are rectangular with a vertical emphasis. The shopfront windows may be multi-paned or square. Large “picture windows” and floor-to-ceiling sliding glass doors should be avoided. Most windows have sills, and frames are made of timber or copper.

Door and window frames of new buildings which are visible from the street may be of timber, or commercial quality box aluminium framed, or copper, or timber to match existing, or of a material and form to match the period of the building being restored.

Door openings should have a vertical emphasis. Timber doors with a plain flush panel or vertical boards are preferred, as are timber door frames.



Typical windows and recessed front doorway.

O) Outdoor Advertising & Signage

The type and form of advertising and other signage on buildings should be respectful in scale, form and style to the character of the building itself, and the Heritage Area as a whole. Town identification should be paramount in the wording of signs.

Advertising signage should ideally be confined to those areas of buildings illustrated below. While it is not necessary to adopt an “olde worlde” approach to signage, signs which at least respect the scale and form of traditional signs are preferred. In particular, the use of under-verandah signs and “shingles” is encouraged.

If necessary, signs can be externally illuminated. Internally illuminated, flashing and “chasing”-style signs are inappropriate in the Heritage Area, and will not be permitted.



Appropriate locations for advertising signs.

Large hoarding-style signs on the flank walls of buildings are potentially inappropriate and intrusive and should be avoided. Roof-mounted signs are not permitted. Signs painted directly onto roofs, verandahs or awnings may be permitted.

Advertising signs on roll-down blinds on verandahs or awnings may also be permitted, but only where the blinds obscure signage on the windows, and any signage must only be of a type and size of those on the window(s) being obscured.

Bunting and permanent banners are not permitted.

All signage is to comply with the provisions of the Shire of Nannup’s Local Planning Policy *LPP18 Signs and Advertisements*.

A-frame signs (sandwich boards) may be permitted, provided they do not have a surface area (each of two faces) of more than 0.5m², and in any event a maximum width of 600mm and a maximum height of 900mm measured from the ground.

Each business is restricted to one A-frame sign. The sign must be placed immediately adjacent to the kerb, or to the front wall of the business, and must not be placed in close proximity to other items (tables, chairs, rubbish bins, etc.), so as to create a “pinch-point” on the footpath, thereby restricting free pedestrian movement.

P) The Use Of Colour

As well as protecting and enhancing a building, its colour scheme can have a dramatic effect on the streetscape. A poor colour scheme can undermine architectural features and streetscape quality. This is particularly important in a small, visually cohesive town like Nannup. Buildings should therefore be painted to create a harmonious streetscape, while allowing for some individual expression.

The Shire of Nannup wants to encourage the application of a coordinated “palette” of colours to public buildings, privately-owned existing and new commercial buildings, and street furniture within the Main Street Heritage Area. These colours should be appropriate to the rural character and acknowledged heritage values of the town.

The use of natural colours appropriate to the Nannup locality is encouraged. These colours should reflect the hues of the local soils, rocks and vegetation.

However, where paint scrapings can determine original colours on older buildings, then these colours should be reinstated, or closely followed.

Previously unpainted brickwork on heritage buildings should not be painted over.

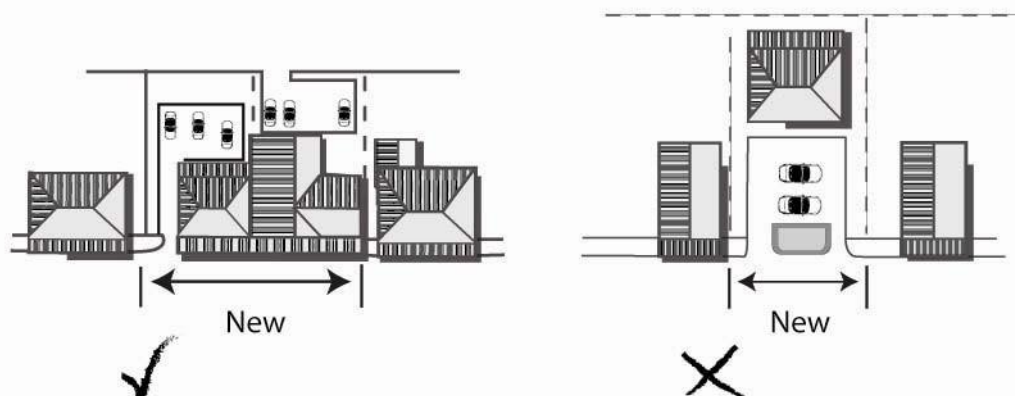
The preferred colours for roofing iron include zincalume in its natural state, or traditional red.

Appropriate colours for decorative elements (where they occur) such as cornices or moldings will be those which will provide either a darker or lighter contrast to the main colour of the building, either weatherboard, brick or render. Doors, windows, fascias and other trim can be contrasted in colours appropriate to the region’s natural environment.

The Shire may seek professional advice on colour schemes appropriate to Nannup.

Q) Parking Provisions & Vehicle Access (Including Service Vehicle Access)

Generally, private vehicle provision should be at the rear of buildings, or may be at the side. Open car parks at the front of buildings will not be permitted.



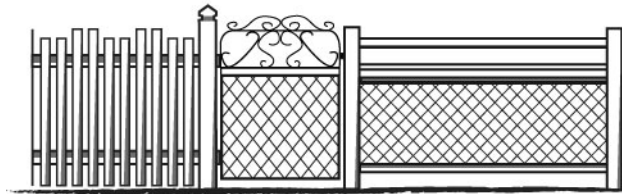
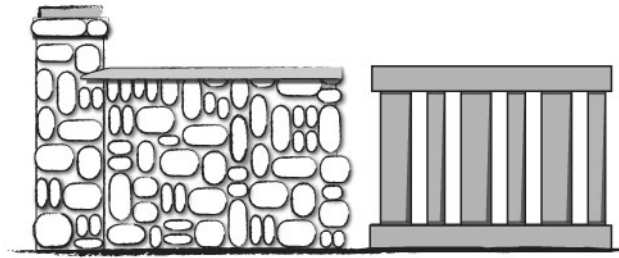
Where access to a rear car park is unavailable from the rear, access should be provided at the side of the building.

Service access shall preferably be provided to the side or rear of a commercial building. Service vehicle access shall be constructed so that vehicles using it may return to the street in a forward direction.

R) Fences & Garden Walls

It is important that the character of Nannup is not compromised or lost by the intrusion of fence types

and heights that would transform its country town tenor into that of a suburban subdivision.



1930s wall, fences and gate, appropriate for the Heritage Area.

Where commercial buildings are built up to or close to the front boundary, fences have generally not been provided. They are usually provided on residential lots, or on the front boundary of that part of a commercial lot which does not contain a building (e.g., to contain an outdoor eating area adjacent to a café).

Where front fencing has been provided it is low (0.8 to 1.2m) and built of a consistent palette of timber post and rail, simple timber pickets, and/or stone and rendered masonry. Front hedges of a similar height may also be acceptable. Gates should match the style and scale of the fence.

High fences, Colorbond®, “timber lap” and treated pine fencing are all inappropriate for front fencing.

Different fences suit different property types. Generally the smaller (narrower) the lot, the more sophisticated the fence. Side fences beyond the front building line and rear fences can step up to approximately 1.8m. “Super six”-style fibro cement sheeting may be used as a fencing material for rear yards if its visual impact from the street(s) will be limited.

A) Solar Collectors

Where possible, solar collectors (includes solar panels) should be sensitively located and designed to respect the heritage values of the area.

No Development Application or associated development approval is required for solar collectors if they are not visible from Warren Road and they are consistent with the R Codes. In other cases, a Development Application is required. The applicant to consider ways to mitigate impacts through location and design and provide written justification for the Development Application.

The local government will consider the visual impact, heritage impact and amenity considerations.

3. Vacant Land

Vacant sites within the Heritage Area should be maintained in good order. They should not be used to store materials, parked cars, or allowed to deteriorate or become a fire risk.

It is highly desirable for vacant sites to be fenced along the front boundary, in order to maintain a continuous “street wall” which helps to reinforce the visual impression that the town is healthy and

prosperous. Even a basic picket fence can help to attract the attention of the passer-by, and distract him/her from the uninteresting view behind it.

4. Alfresco Dining

“Alfresco” is an Italian word meaning “in the open air”. Nannup’s climate makes dining outdoors a pleasant pastime for much of the year, and the town’s food outlets are increasingly providing tables and chairs outside on road reserves for their patrons’ enjoyment.

Alfresco dining facilities can add colour and vitality to the main street, but it is important that they do not obstruct pedestrian or vehicular movement, or interfere with activities carried on in adjoining premises. The establishment of appropriate alfresco dining areas is encouraged by the Shire of Nannup.

Alfresco dining areas can be established in association with most cafes, restaurants, hotels, bakeries or take away food outlets, provided that:

- They are located directly adjacent to the business;
- They do not obstruct pedestrian movement or obscure or restrict access to adjacent properties. A minimum of 1.5metres of footpath width must be kept clear for pedestrians in all areas; and
- Alfresco dining furniture, alfresco plastic blinds and A-frame signs must not obstruct the visibility of vehicles or pedestrians either at road junctions or at driveways.

Street furniture offers the opportunity to provide colour and interest, and to enhance the image of the business. While the versatility and low cost of plastic furniture is recognised, other materials such as wood, steel and cast metals are more appropriate to the character of Nannup, and are also encouraged as they are less susceptible to discolouration and marking, and are available in a wide variety of styles.

All furniture and other structures are to be free-standing, and umbrellas must be provided with a secure base.

The business which establishes and carries on the alfresco dining establishment is responsible for cleaning the dining area at the close of business each day.

Structures which are part of the street furniture may bear commercial advertising, although the advertising can only relate to the establishment, or the goods sold within it.

5. Franchises/Corporate Images

Any local, regional, state, national or international corporate body proposing a development in Nannup (including a petrol station, real estate agent, hardware store, supermarket, fast food store, chemist or similar retail/commercial enterprise) should be aware that every application for development approval shall be assessed against this Policy. In particular, colour schemes and advertising will be critically assessed, and developments will not be permitted to adversely affect the town’s established character, or subdue its rural image.

While an applicant’s requirement to exhibit their company’s standard logo is recognised and will be accommodated where possible, it is expected that restraint will be shown in the application of corporate colours, decoration and advertising.

In particular, the Shire will not allow the Policy objectives regarding building form to be compromised by the introduction of inappropriate suburban “drive-through” architecture.



An example of corporate signage which does not respect the character or proportions of the building.

ADMINISTRATION

1. Matters to be Addressed Prior to Formally Lodging the Application

Proponents are encouraged to discuss proposals that seek to vary Policy requirements with the Shire administration early in the planning process and prior to the formal lodgement of any Development Application.

2. Application Requirements

Development Applications are to include the following:

- A completed Form of Application for Development Approval;
- A site plan showing the location of all existing and proposed structures, and the location of any easements;
- A floor plan/s and elevations;
- A schedule or details of external materials and colours to be used; and
- Payment of the local government Development Application fee.

Subject to the proposed location and the scale of the proposed dwelling, the local government may also require the applicant to provide:

- Site analysis plan;
- Development impact statement;
- Detailed contour information from a licenced surveyor;
- Cross sections showing the extent of cut and fill;
- Written information relating to the reasons why any standard requirements of this Policy should be varied; and
- Any other plan or information that the local government may reasonably require to enable the application to be determined.

Should a Development Approval be issued, it will also be necessary for the proponent to submit a Building Permit Application (which gains necessary approval) prior to undertaking construction.

3. Consultation with Landowners and Stakeholders

The local government will consult with adjoining/nearby landowners and other stakeholders as required by LPS4, the Regulations and as determined by the local government. The local government may also consult where an application does not comply with this Policy and/or it does not comply with the deemed-to-comply requirements of the R-Codes.

4. Assessing the Development Application

The local government will have due regard to matters including the following in assessing Development Applications:

- Clause 67 in Schedule 2 of the Regulations;
- The character, values and amenity of SCA6;
- Building form;
- Roof form;
- Standard of construction;
- Materials and details;
- Alterations and additions;
- Retaining walls, excavation and fill;
- Fencing;
- Open space, landscaping and tree retention;
- Bushfire risk;
- Incidental structures;
- Written comments from affected stakeholders; and
- Any other circumstance and factor affecting the application in the opinion of the local government.

Should a Development Application not comply with the requirements of this Policy and matters are not able to be addressed through conditions of approval, the application will be considered by Council.

Where objections are received and the objections are not able to be adequately dealt with through conditions of approval, the application will be referred to Council for determination.

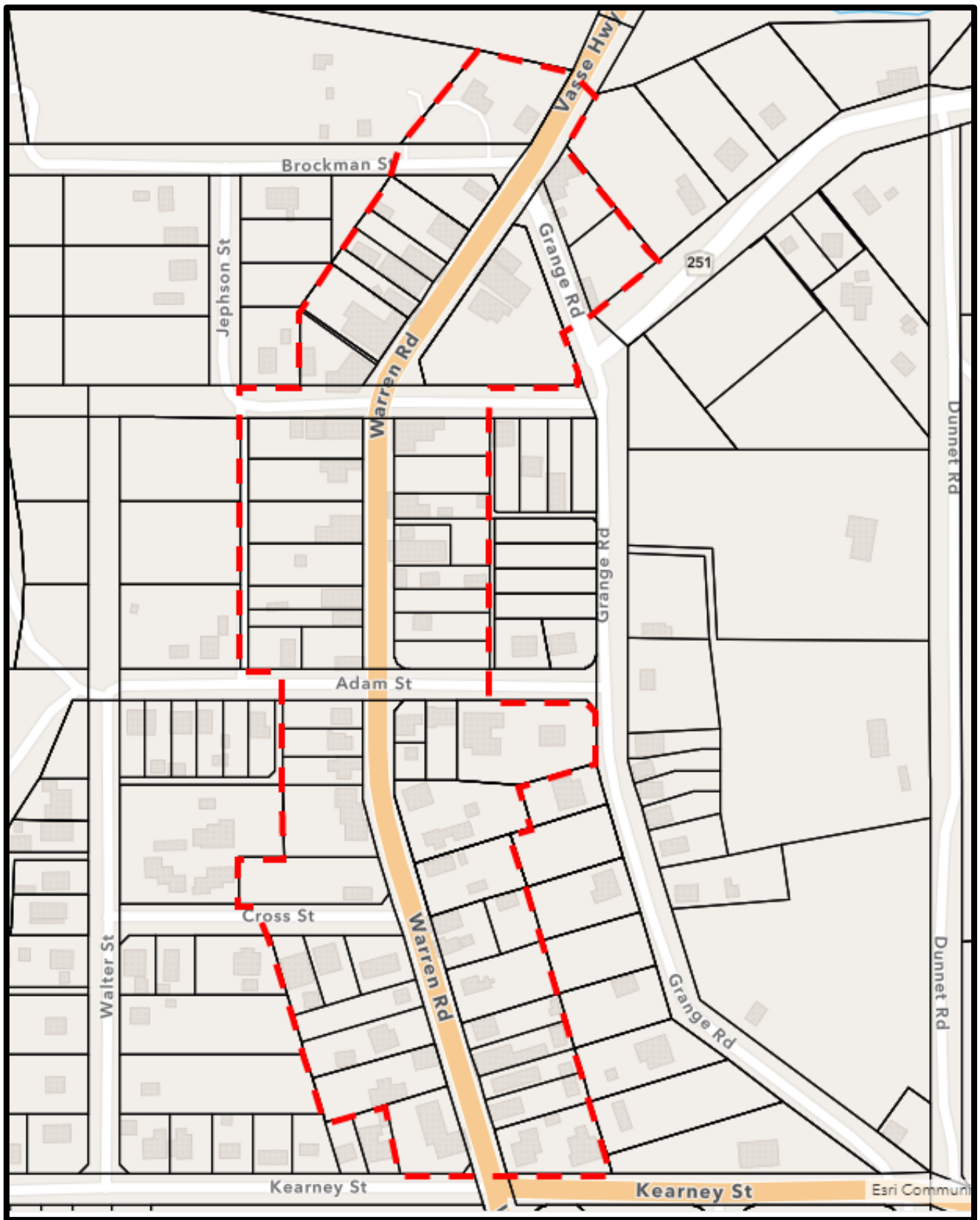
The Council may grant its consent with or without conditions or refuse its consent. The Council may refuse a Development Application where the application is inconsistent with this Policy, LPS4, other Local Planning Policies, the R-Codes and other State Planning Policies, or be based on information provided by the applicant, or be based on information set out in any submission received.

Related Policies:	LPP 1 Cut & Fill and Retaining Walls LPP 3 Sea Containers LPP 8 Development in Flood Prone Land LPP 10 Car Parking and Vehicular Access LPP 13 Heritage Conservation LPP 15 Outbuildings
Related Procedures/ Documents	<i>Planning and Development (Local Planning Schemes) Regulations 2015</i> <i>State Planning Policy 3.7 Planning in Bushfire Prone Areas</i> <i>State Planning Policy 7.0 Design of the Built Environment</i> <i>Residential Design Codes – Volumes 1 and 2</i>
Delegation Level:	Chief Executive Officer or their Delegated Officer
Adopted:	OM 22 April 2010.
Reviewed:	OM 27 June 2024

Attachment 1 – Extract from Local Planning Scheme No.4

Table 11
Special control areas in Scheme area

Name of area	Purpose	Objectives	Additional provisions
SCA6 – Heritage Area	To conserve and protect the cultural heritage significance of the Nannup town centre.	To ensure that the new buildings, alterations and additions to existing building and associated development can be accommodated within the Nannup town centre without adversely affecting the area's historic heritage significance and amenity.	<ol style="list-style-type: none"> 1. Notwithstanding clause 58(1), development approval is required for signs which are inconsistent with Local Planning Policy <i>LPP18 Signs and Advertisements</i> and inconsistent with Local Planning Policy <i>LPP19 Heritage Conservation</i>. 2. The local government will have regard to relevant Local Planning Policies including <i>LPP8 Nannup Main Street Heritage Precinct</i>, <i>LPP13 Car Parking and Vehicular Access</i>, <i>LPP18 Signs and Advertisements</i> and <i>LPP19 Heritage Conservation</i>.



SCA6 – Development Control Area – Heritage Area